

Construction Plans

For:

Kent Heights Recreational Facility Improvements Project

Map 408, Block 17, Parcel 16

Clyde Avenue
East Providence, RI

October 2023

Prepared For:

City of East Providence

GENERAL NOTES:

- THE MOST CURRENT EDITION OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE AND THE RHODE ISLAND STANDARD DETAILS CONSTRUCTION ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE CURRENT VERSION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION, DIVISION OF PUBLIC WORKS. IN ADDITION, CITY OF EAST PROVIDENCE STANDARD SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
- EXISTING CONDITIONS SHOWN ARE THE RESULT OF A FIELD SURVEY BY THE CITY OF EAST PROVIDENCE (SEE REFERENCED PLANS).
 - HORIZONTAL DATUM: RHODE ISLAND STATE PLANE COORDINATE (RISPC-NAD83)
 - VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
 - BENCHMARK: NORTHERN MOST CORNER OF CONCRETE PAD FOR IRRIGATION CONTROL BOX. ELEVATION = 94.96. SEE EXISTING CONDITIONS AND SITE PREPARATION PLAN.
 - CONTRACTOR SHALL VERIFY ACTUAL AS-BUILT ON-SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION PROCEDURES.
- SITE IS LOCATED OVER FORMER LAND FILL. ANY RESTRICTIVE MATERIAL (CAP) OR SOLID WASTE ENCOUNTERED DURING CONSTRUCTION MUST BE DISPOSED OF IN ACCORDANCE WITH RIEM REGULATIONS. CONTRACTOR SHALL ENSURE PROPER PROTECTION AND PROTOCOLS WHEN HANDLING ANY ENCOUNTERED WASTE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE CITY ENGINEER AND OWNER'S REPRESENTATIVE TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE CITY ENGINEER AND OWNER'S REPRESENTATIVE. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE CITY ENGINEER PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE CITY SPECIFICATIONS.
- LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 72-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-888-344-7233) A MINIMUM OF 72 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND, FEDERAL GOVERNMENT, AND THE CITY OF EAST PROVIDENCE PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR TO EXCAVATE TEST PITS TO CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS, WETLAND, OR ADJACENT TO DRAINAGE STRUCTURES.
- ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
- THE SITE LIES IN "ZONE X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR WASHINGTON COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 213 OF 368, MAP NUMBER 44009C02131, MAP REVISED OCTOBER 16, 2013.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FINISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS AS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND ACCEPTABLE TO THE ENGINEER.
- CONTRACTOR SHALL RECORD AND PROVIDE AS-BUILT DRAWINGS FOR ALL NEW INFRASTRUCTURE.

REVISION HISTORY:

DATE	REVISION

REFERENCES:

- Plan Entitled, "LIMITED TOPOGRAPHICAL SURVEY KENT HEIGHTS PARK", Sheet 1 of 1; Dated 11/17/21, with Revisions through 2/15/23; Scale: 1"=50', as Prepared by CITY OF EAST PROVIDENCE - DEPARTMENT OF PUBLIC WORKS - ENGINEERING DIVISION
- RIDEM Permitting Plan Set Entitled, "Kent Heights Recreational Facility Improvements Project", Sheets 1-6 of 6, Dated: August 2023, Revised: 9/20/23; Prepared for: City of East Providence; Prepared by: Kevin M. Alverson Landscape Architecture, in conjunction with Millstone Engineering, P.C.
- Aerial Photograph Courtesy of GoogleEarthPro; Imagery Date: 6/15/22
- Locus obtained from mapquest.com

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Clyde Avenue
East Providence, RI

Prepared For:



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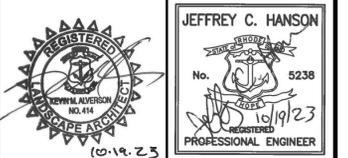


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Owner / Applicant

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Surveyor

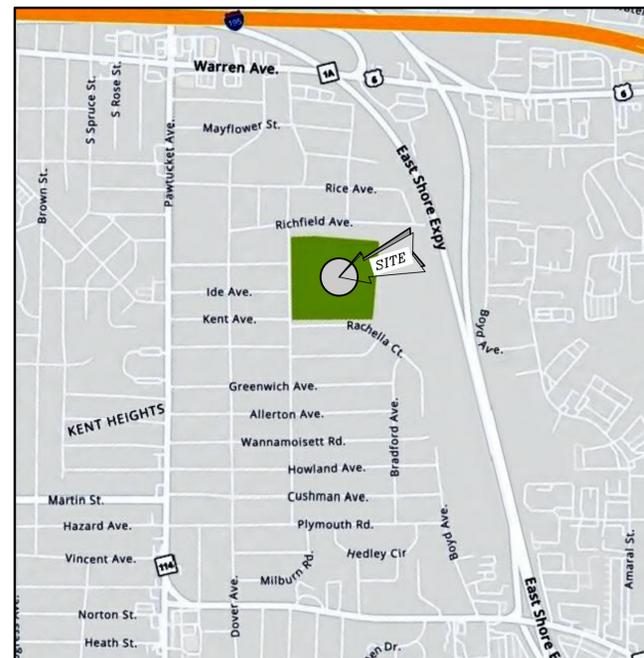
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LOCUS (NOT TO SCALE)



AERIAL PHOTOGRAPH (NOT TO SCALE)

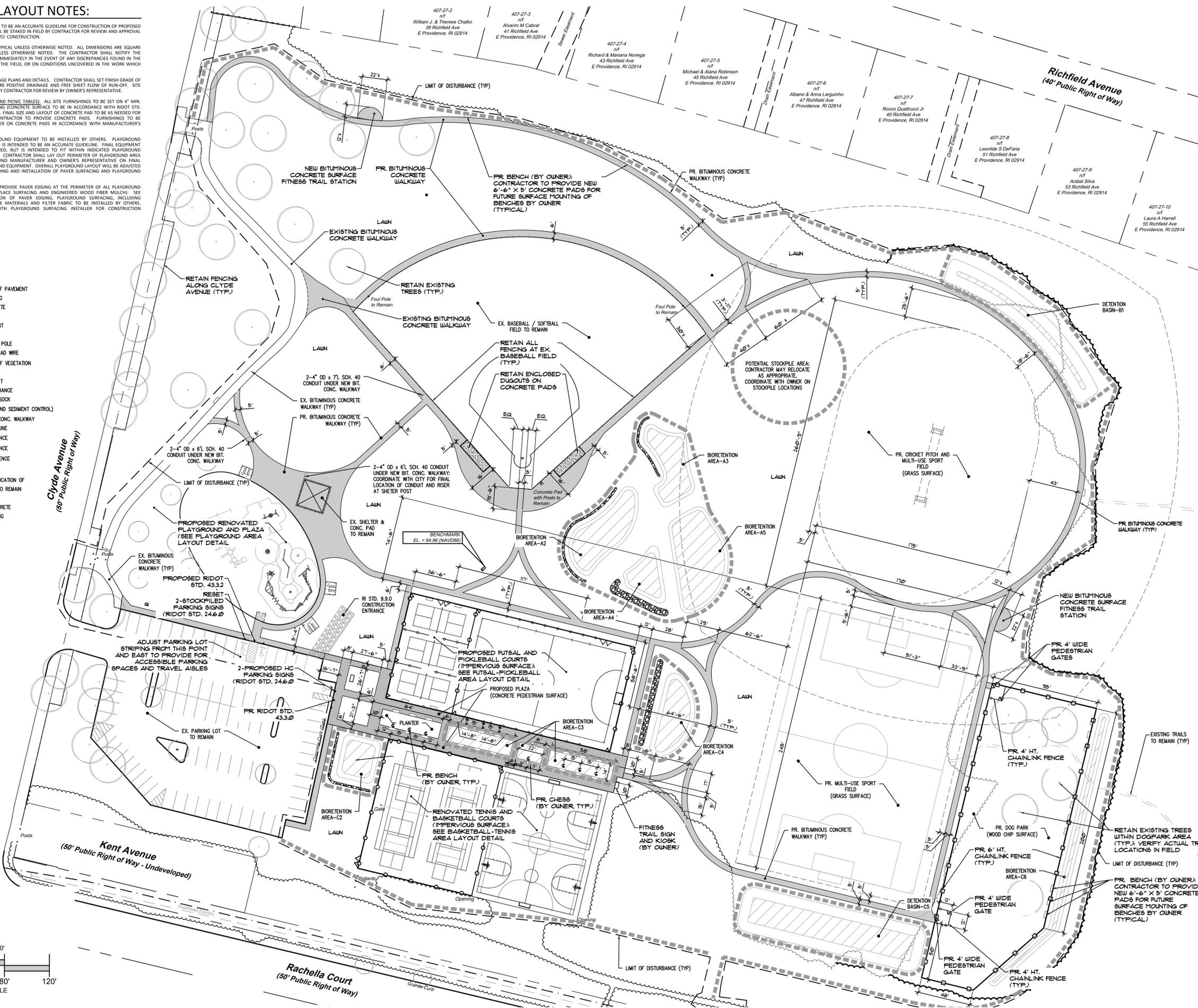


OVERALL SITE LAYOUT NOTES:

- LAYOUT NOTES: LAYOUT IS INTENDED TO BE AN ACCURATE GUIDELINE FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS. FINAL LAYOUT SHALL BE STAKED IN FIELD BY CONTRACTOR FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE SQUARE (PARALLEL OR PERPENDICULAR) UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS AND/OR IN THE FIELD, OR ON CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
- GRADING: SEE GRADING AND DRAINAGE PLANS AND DETAILS. CONTRACTOR SHALL SET FINISH GRADE OF ALL NEW SURFACES SO AS TO ENSURE POSITIVE DRAINAGE AND FREE SHEET FLOW OF RUN-OFF. SITE GRADING SHALL BE STAKED IN FIELD BY CONTRACTOR FOR REVIEW BY OWNER'S REPRESENTATIVE.
- SITE FURNISHINGS (NEW BENCHES AND PICNIC TABLES): ALL SITE FURNISHINGS TO BE SET ON 4" MIN. THICKNESS CONCRETE PAD SURFACING (CONCRETE SURFACE TO BE IN ACCORDANCE WITH RIDOT STD. #63.1.0, BROOM FINISH - SEE DETAIL). FINAL SIZE AND LAYOUT OF CONCRETE PAD TO BE AS NEEDED FOR SELECTED SITE FURNISHINGS. CONTRACTOR TO PROVIDE CONCRETE PADS. FURNISHINGS TO BE PROVIDED AND INSTALLED BY OWNER ON CONCRETE PADS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- PLAYGROUND EQUIPMENT: PLAYGROUND EQUIPMENT TO BE INSTALLED BY OTHERS. PLAYGROUND EQUIPMENT AND LAYOUT INDICATED IS INTENDED TO BE AN ACCURATE GUIDELINE. FINAL EQUIPMENT AND PLACEMENT TO BE DETERMINED, BUT IS INTENDED TO FIT WITHIN INDICATED PLAYGROUND SURFACING AREA NOTED ON PLANS. CONTRACTOR SHALL LAY OUT PERIMETER OF PLAYGROUND AREA AND COORDINATE WITH PLAYGROUND MANUFACTURER AND OWNER'S REPRESENTATIVE ON FINAL STAKING AND LAYOUT OF PLAYGROUND EQUIPMENT. OVERALL PLAYGROUND LAYOUT WILL BE ADJUSTED AND FINALIZED PRIOR TO SITE GRADING AND INSTALLATION OF PAVEMENT SURFACING AND PLAYGROUND PERIMETER.
- PLAYSURFACING: CONTRACTOR TO PROVIDE PAVEMENT EDGING AT THE PERIMETER OF ALL PLAYGROUND SURFACING (PERVIOUS PAVED-IN-PLACE SURFACING AND ENGINEERED WOOD FIBER MULCH). SEE DETAILS. FOLLOWING INSTALLATION OF PAVEMENT EDGING, PLAYGROUND SURFACING, INCLUDING APPROPRIATE CRUSHED STONE BASE MATERIALS AND FILTER FABRIC TO BE INSTALLED BY OTHERS. CONTRACTOR TO COORDINATE WITH PLAYGROUND SURFACING INSTALLER FOR CONSTRUCTION SEQUENCING AND SCHEDULING.

LEGEND

- LOT LINE
- EASEMENT LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING STRIPING
- EXISTING CONCRETE
- EXISTING SAND
- EXISTING HYDRANT
- EXISTING FENCE
- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRE
- EXISTING EDGE OF VEGETATION
- EXISTING TRAIL
- EXISTING TEST PIT
- LIMIT OF DISTURBANCE
- PROPOSED SILT SOCK (SOIL EROSION AND SEDIMENT CONTROL)
- PROPOSED BIT. CONC. WALKWAY
- PROPOSED TREELINE
- PROPOSED 4" FENCE
- PROPOSED 6" FENCE
- PROPOSED 10" FENCE
- APPROXIMATE LOCATION OF EXISTING TREE TO REMAIN
- PROPOSED CONCRETE PLAZA SURFACING



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JEFFREY C. HANSON
No. 5238
10/19/23
REGISTERED PROFESSIONAL ENGINEER

Overall Site Layout Plan

Project #: 2.134.380 Sheet 3 of 12
Scale: 1" = 40'
Drawn By: KMA, BJC
Checked By: KMA, JCH
Date: October 2023

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2.134.380.KentHeightsRec_EProvidenceRI.dwg © Kevin M. Alverson, L.A.

2.134.380 KentHeightsRec_E ProvidenceRI.dwg

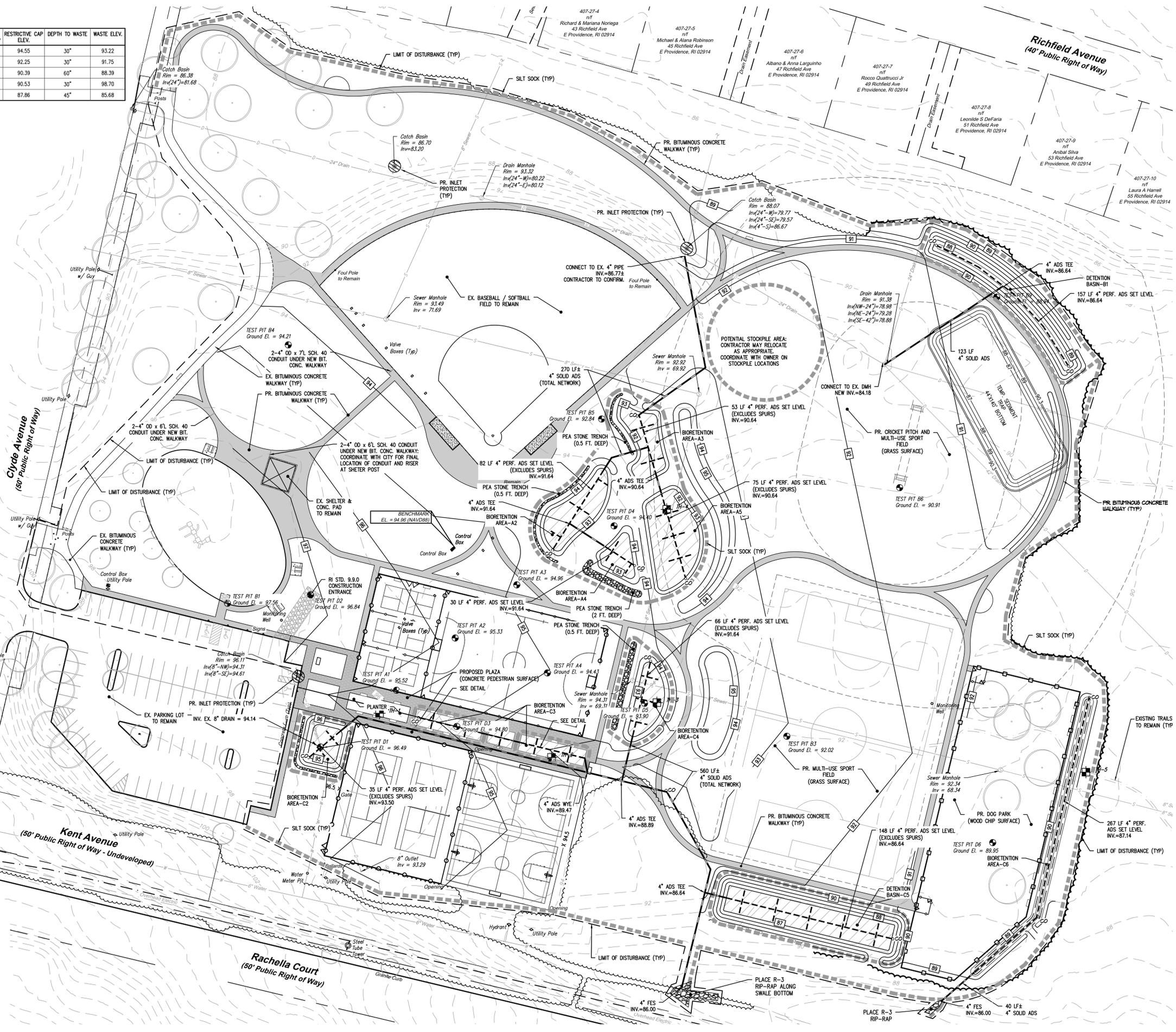
TEST HOLE DATA

TEST HOLE	EXISTING GRADE	DEPTH TO SHGWT	DEPTH TO RESTRICTIVE CAP	RESTRICTIVE CAP ELEV.	DEPTH TO WASTE	WASTE ELEV.
TH-1	95.72	INC *	14"	94.55	30"	93.22
TH-2	94.25	INC *	24"	92.25	30"	91.75
TH-3	93.39	INC *	36"	90.39	60"	88.39
TH-4	92.20	INC *	20"	90.53	30"	90.70
TH-5	89.43	INC *	20"	87.66	45"	85.68

* NO EVIDENCE OF SHGWT FOUND IN TEST HOLE.

LEGEND

- LOT LINE
- EASEMENT LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING STRIPING
- EXISTING CONCRETE
- EXISTING SAND
- EXISTING DRAIN LINE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- EXISTING SEWER LINE
- EXISTING SEWER MANHOLE
- EXISTING WATER LINE
- EXISTING HYDRANT
- EXISTING FENCE
- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRE
- EXISTING CONTOUR
- EXISTING EDGE OF VEGETATION
- EXISTING TRAIL
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- PROPOSED TREELINE
- PROPOSED 4' FENCE
- PROPOSED 6' FENCE
- PROPOSED 10' FENCE
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED INLET PROTECTION
- PROPOSED DRAIN LINE
- PROPOSED RIPRAP
- APPROXIMATE LOCATION OF EXISTING TREE TO REMAIN
- PROPOSED CONCRETE PLAZA SURFACING



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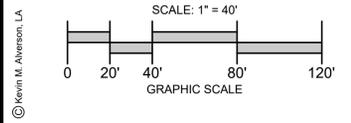
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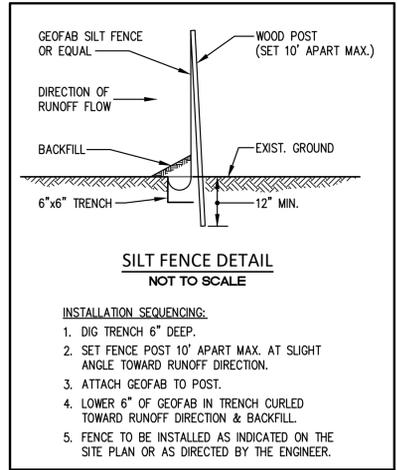
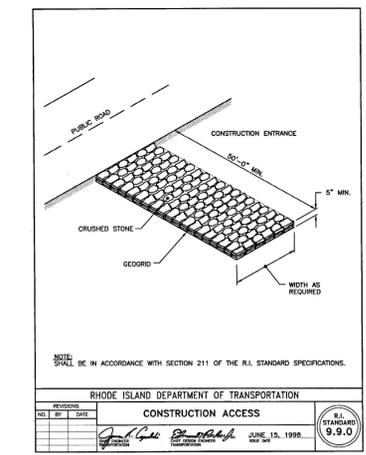
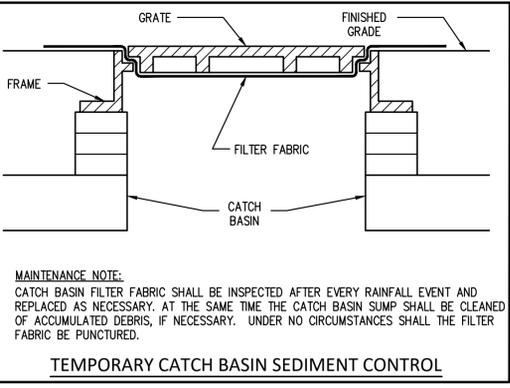
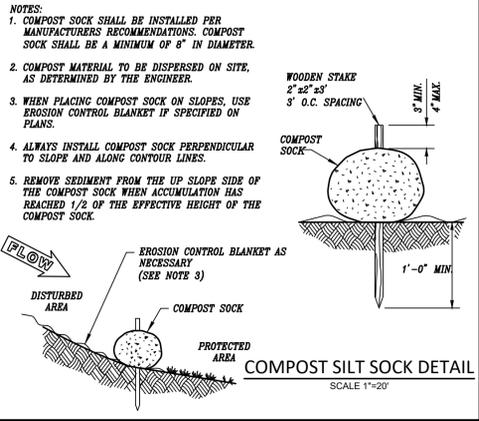
JEFFREY C. HANSON
No. 5238
10/19/23
REGISTERED PROFESSIONAL ENGINEER

Grading and Drainage Plan

Project #: 2.134.380	Sheet 6 of 12
Scale: 1" = 40'	6
Drawn By: BJC; KMA	
Checked By: JCH	
Date: October 2023	



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SEDIMENTATION CONTROL PROGRAM:

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUN-OFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORMWATER FLOWAGE.
- SEDIMENTATION TRAPS SHALL BE PROVIDED AT ALL DRAINAGE STRUCTURES DURING CONSTRUCTION.
- EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AT THE SITE PRIOR TO THE START OF CONSTRUCTION AND BE PROPERLY MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED INCLUDING:
 - THE INSTALLATION OF A CONTINUOUS LINE OF STAKED STRAWBALES, SILT FENCE, OR SIMILAR IN ALL LOCATIONS SHOWN ON THE APPROVED SITE PLANS AND WHERE OTHERWISE NECESSARY TO PREVENT SEDIMENTS FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
 - ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER PRIOR TO THE COMPLETION OF THE PROJECT. AREAS EXPOSED FOR EXTENDED PERIODS ARE TO BE COMPLETELY COVERED WITH SPREAD HAY MULCH.
 - CATCH BASINS SHALL BE PROTECTED WITH STRAWBALE OR SILT SACK FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPIS ARE TO BE CLEANED IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
 - OUTFALLS SHALL BE PROTECTED BY STRAWBALE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER.
 - ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
- IF AREAS OF 1-5 ACRES ARE TO BE DISTURBED AT ONE TIME, A TEMPORARY SEDIMENT TRAP SHALL BE DESIGNED AND SITED IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, SECTION 6 AND SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO LAND DISTURBANCE.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM:

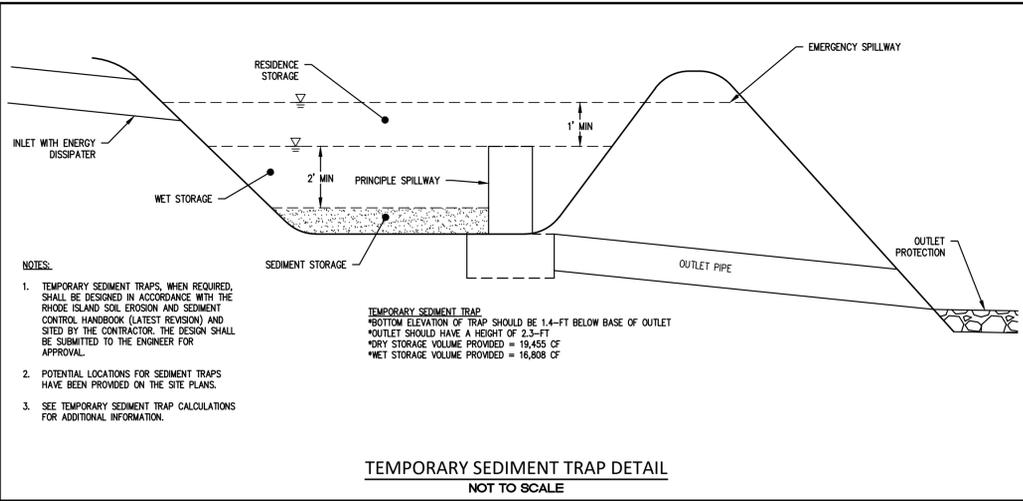
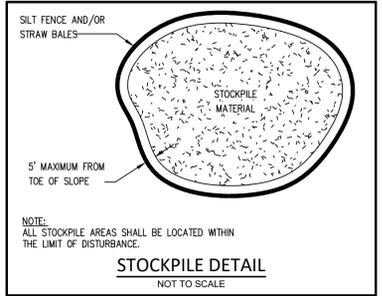
- DENuded SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS THE INACTIVE WINTER SEASONS.
- CONTRACTOR TO INSTALL TEMPORARY EROSION CONTROL MAT ON ALL 2:1 SLOPES (2H:1V) UNTIL GRASS IS ESTABLISHED.
- TEMPORARY TREATMENTS SHALL CONSIST OF STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. CONTRACTOR TO SUBMIT CUT SHEET OF TEMPORARY TREATMENT FOR REVIEW AND APPROVAL BY THE ENGINEER.
- STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS./ACRE.
- ALL SILT SOCKS, STRAWBALES OR TEMPORARY PROTECTION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS, RIP-RAP OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND STANDARD SPECIFICATION M.18.02.
- ALL DISTURBED AREAS MUST BE SEEDED, PLANTED OR RIP-RAPPED WITHIN THE CONSTRUCTION SEASON.
 - TEMPORARY SEEDING MUST BE COMPLETED WITHIN ONE (1) MONTH AFTER DISTURBANCE.
 - ALL DISTURBED AREAS MUST BE PERMANENTLY SEEDED, PLANTED OR RIP-RAPPED BEFORE OCTOBER 1ST, IF NOT THEY MUST BE TEMPORARILY SEEDED.
- REFER TO LANDSCAPE NOTES FOR SEED MIXES USED FOR STABILIZATION OF ALL DISTURBED AREAS TO BE SEEDED.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH MAY 31ST OR AUGUST 15 THROUGH OCTOBER 15TH. IRRIGATION MAY BE REQUIRED IN THE SUMMER MONTHS TO INSURE THAT VEGETATIVE COVER IS ESTABLISHED.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%), SHALL ALSO BE SEEDED AND/OR STABILIZED AND SHALL BE COMPLETELY ENCLOSED WITH STAKED HAY BALES, SILT FENCE, AND/OR SILT SOCK. (SEE DETAIL)
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- TREES TO BE RETAINED SHALL BE FENCED OR ROPED OFF TO PROTECT THEM FROM CONSTRUCTION EQUIPMENT.
- ALL PROPOSED PLANTINGS AND PLACEMENT OF RIP-RAP MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.

BMP CONSTRUCTION SEQUENCES:

- GENERAL:**
- GREAT CARE SHALL BE GIVEN TO THE AREAS WHERE STRUCTURES WHICH REQUIRE INFILTRATION AS A MECHANISM FOR STORMWATER TREATMENT AND/OR DISPOSAL ARE PROPOSED PRIOR TO THEIR CONSTRUCTION. NO INFILTRATION STRUCTURE SHALL BE CONSTRUCTED NOR ACCEPT RUNOFF UNTIL ALL UP-GRADE AREAS OF THE WATERSHED HAVE BEEN BUILT AND FULLY STABILIZED SO AS TO HAVE NO POTENTIAL FOR SEDIMENT OR SILT DEPOSITION. ALSO, ONCE THE ENTIRE SITE IS STABILIZED ALL SSSC MEASURES SHALL BE REMOVED.
- THE DESIGN SEED MIX FOR ALL PERMANENT STORMWATER BASINS SHALL BE COMPRISED OF THE FOLLOWING AND PLANTED IN A MINIMUM OF A 6" DEPTH OF SANDY LOAM FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS:
- | TYPE | % BY WEIGHT |
|---------------------|-------------|
| CREeping RED FESCUE | 70 |
| KENTUCKY BLUEGRASS | 15 |
| TALL FESCUE | 15 |
- APPLICATION RATE 100 LBS/ACRE
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
- DETENTION / INFILTRATION BASIN:**
- EXCAVATE TO THE LINES AND GRADES OF THE DESIGN
 - INSTALL OUTLET CONTROL STRUCTURE & LEVEL SPREADER
 - LOAM AND SEED ACCORDINGLY WITH PERMANENT SEED MIXTURE
- BIORETENTION AREAS:**
- EXCAVATE TO THE LINES AND GRADES OF THE DESIGN
 - INSTALL 6" OF PEASTONE / UNDERDRAM
 - BIORETENTION MEDIA SHALL BE USDA LOAMY SAND TO SANDY LOAM CLASSIFICATION
 - INSTALL NON-WOVEN GEOTEXTILE
 - INSTALL 4" WASHED CRUSHED STONE WITH DISTRIBUTION PERFORATED PIPE
 - INSTALL NON-WOVEN GEOTEXTILE
 - LOAM AND SEED PER DETAILS WITH PERMANENT SEED MIXTURE & DRAINS

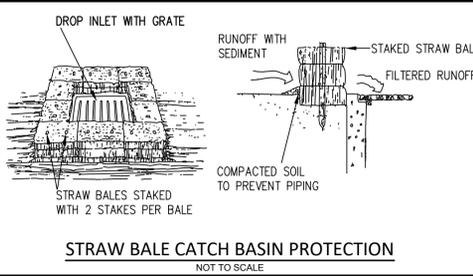
CONSTRUCTION MAINTENANCE:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR TO ALL DRAINAGE STRUCTURES AND RELATED APPURTENANCES ON THE SITE DURING CONSTRUCTION AND FOR A MAXIMUM OF ONE (1) YEAR FOLLOWING COMPLETION OF CONSTRUCTION, AT WHICH TIME THE DRAINAGE STRUCTURES AND APPURTENANCES ARE TO BE ACCEPTED BY THE ENGINEER AND THE OWNER, AS FOLLOWS:
- ALL CATCH BASINS AND STORM DRAIN PIPES SHALL BE CLEANED OF SEDIMENT. STORMWATER BASINS SHALL BE CLEANED OF SEDIMENT TO THE DESIGN GRADES INDICATED ON THE CONSTRUCTION DRAWINGS.
 - INSPECTION OF THE BASINS AND ALL INLET AND OUTLET STRUCTURES SHALL BE PERFORMED ON A WEEKLY BASIS, PREFERABLY DURING A STORM EVENT TO INSPECT FOR PROPER FUNCTIONALITY OF THE FACILITY.
 - GRASSES MUST BE PLANTED AROUND AND WITHIN THE STORMWATER BASIN IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE THE SLOPES AND PREVENT EROSION.
 - SEDIMENTS SHALL BE REMOVED FROM DRAINAGE STRUCTURES AND THE STORMWATER BASINS IMMEDIATELY FOLLOWING SITE STABILIZATION AND DURING THE FIRST (INITIAL) YEAR OF OPERATION.
 - ALL COSTS INCURRED FOR MAINTENANCE, CLEANING, AND INSPECTION ARE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND THE PROPERTY OWNER UPON ACCEPTANCE.
 - ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF THE RIDEM.
 - ALL TRASH AND LITTER AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER FACILITY DAILY, INCLUDING INLET AND OUTLET STRUCTURES.
 - REPAIRS OR REPLACEMENT OF INLET/OUTLET STRUCTURES, RIP-RAP CHANNELS, FENCES, OR OTHER ELEMENTS OF THE FACILITY DURING CONSTRUCTION SHALL BE DONE WITHIN 30 DAYS OF DEFICIENCY REPORTS.
 - PAVEMENT SWEEPING SHALL BE PERFORMED UPON COMPLETION OF THE PROJECT.
 - WATER SHALL BE USED TO MOISTEN EXPOSED SOIL SURFACES PERIODICALLY, AN ADEQUATE AMOUNT SHOULD BE USED TO CONTROL DUST.



POLLUTION PREVENTION PLAN:

- GENERAL:**
- LONG-TERM MANAGEMENT OF THE POLLUTION PREVENTION PLAN SHALL BE THE RESPONSIBILITY OF THE OWNER / OPERATOR.
- OWNER: CITY OF EAST PROVIDENCE
145 TAUNTON AVENUE
EAST PROVIDENCE, RI 02914
- THE CONTRACTOR SHALL MANAGE THE POLLUTION PREVENTION PLAN DURING THE CONSTRUCTION PROCESS.
- CONTRACTOR: TBD
- SOLID WASTE CONTAINMENT:**
- TRASH RACKS WHERE PRACTICAL SHALL BE INSTALLED AND MAINTAINED ON ALL INLET STRUCTURES WITHIN THE DRAINAGE SYSTEM. INSPECTIONS FOR TRASH SHOULD BE ON A WEEKLY BASIS.
 - STREET SWEEPING SHALL BE PERFORMED ON AN ANNUAL BASIS.
- SNOW DISPOSAL AND DEICING:**
- NO SAND AND DEICING MATERIALS SHALL BE STORED ON THE SITE
 - SNOW REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH RIDEM'S SNOW DISPOSAL POLICY.
- DRIVEWAY AND PARKING LOT SEALANTS:**
- ON STANDARD ASPHALT AREAS, ONLY ASPHALT-BASED SEALANTS ARE ALLOWED, NO COAL-TAR BASED SEALANTS SHALL BE USED ON THIS SITE.
- HAZARDOUS MATERIALS CONTAINMENT:**
- NO HAZARDOUS MATERIALS SHALL BE STORED OUTSIDE TO AVOID EXPOSURE TO STORMWATER.
- LANDSCAPE MANAGEMENT:**
- GRASS CLIPPINGS FROM LAWN CARE PROCEDURES PERFORMED IN AND AROUND THE STORMWATER FACILITY MUST BE COLLECTED AND DISPOSED OF OFF SITE.
 - GENERAL LAWN HEIGHTS (EXCLUDING STORMWATER BASINS) SHALL BE KEPT AT A 4-6" HEIGHT.
 - NATIVE MEADOW GRASSES PLANTED WITHIN BIORETENTION AREAS TO BE MOWED ONCE ANNUALLY IN LATE FALL AFTER FIRST FROST OR BEFORE PLANT GROWTH BEGINS IN LATE WINTER OR EARLY SPRING. ADDITIONAL MOWINGS ARE DISCOURAGED UNLESS WHEN NEEDED FOR MAINTENANCE SUCH AS REMOVAL OF SEDIMENT BUILDUP REPAIR OF EROSION, ETC.
 - FERTILIZER AND WATERING DEMANDS SHALL HAVE PROFESSIONAL OVERSIGHT AND BOTH USES SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICAL.
- DOG PARK MANAGEMENT:**
- DOG BAG DISPENSER AND TRASH RECEPTACLE SHALL BE PROVIDED AND MAINTAINED BY THE CITY OF EAST PROVIDENCE.
 - DOG BAG DISPENSER SHALL BE INSPECTED TWICE WEEKLY AND REPLENISHED AS NEEDED.
 - TRASH RECEPTACLE SHALL BE EMPTIED INSPECTED TWICE WEEKLY.



LONG-TERM MAINTENANCE SCHEDULE (O&M):

- LONG-TERM MAINTENANCE OF THE DRAINAGE SYSTEM SHALL BE COMPLETED BY THE APPLICANT/OPERATOR UNDER A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT.
- OWNER: CITY OF EAST PROVIDENCE
145 TAUNTON AVENUE
EAST PROVIDENCE, RI 02914
- THE CONTRACTOR / OPERATOR SHALL MAINTAIN ALL DRAINAGE COMPONENTS DURING AND DIRECTLY AFTER CONSTRUCTION. ALL OPERATIONAL MAINTENANCE REQUIREMENTS WILL BE RECORDED ON THE TITLE.
- OPERATOR: CITY OF EAST PROVIDENCE
145 TAUNTON AVENUE
EAST PROVIDENCE, RI 02914
- CONTRACTOR: TBD
- THE ENTIRE STORMWATER SYSTEM SHALL BE INSPECTED THROUGHOUT THE CONSTRUCTION PROCESS AND REPORTED ON THE ATTACHED CONSTRUCTION INSPECTION REPORTING FORMS.
- THE ENTIRE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED ON A BI-ANNUAL BASIS FOR GENERAL PROBLEMS AND TO ENSURE PROPER FUNCTION AND AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-YR, 24-HR TYPE III PRECIPITATION EVENT (2.7"). THESE INSPECTIONS SHALL BE REPORTED ON THE ATTACHED O&M INSPECTION REPORTING FORMS.
- ALL INSPECTIONS REPORTS SHALL BE KEPT ON FILE WITH THE STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN.
- FEASTONE TRENCH:**
- THE SLOPES SHALL BE INSPECTED FOR EROSION AND GULLYING.
 - STONE SHALL BE REINFORCED IF EROSION IS PRESENT AT OUTFALLS OR IF IT HAS BEEN COMPROMISED.
 - INSPECT FOR SEDIMENT ACCUMULATION AND IT SHALL BE REMOVED IF IT REACHES 6" OR 25% OF THE STORAGE VOLUME.
 - NO WOODY GROWTH SHALL EVER BE ALLOWED TO REMAIN IN AND AROUND THE TRENCHES.
 - AREAS OF EROSION OR DISTURBANCE SHALL BE RE-ESTABLISHED IMMEDIATELY.
 - INLETS AND OUTLETS SHALL BE CLEARED OF DEBRIS AS NEEDED.
- BIORETENTION AREAS:**
- THE FACILITY SHOULD BE INSPECTED ANNUALLY TO ENSURE INFILTRATION RATES ARE BEING MET. IF STANDING WATER IS OBSERVED FOR MORE THAN 48 HRS AFTER A RAIN EVENT, THE TOP 6" SHOULD BE ROTOTILLED AND ANY COMPACTED REMOVED. IF THIS DOESN'T SOLVE THE PROBLEM, THE TOP 6" OF THE SAND FILTER SHALL BE REMOVED AND REPLACED.
 - RIPRAP SHOULD BE REINFORCED IF EROSION IS PRESENT AT OUTFALLS OR IF IT HAS BEEN COMPROMISED
 - NATIVE MEADOW GRASSES PLANTED WITHIN BIORETENTION AREAS TO BE MOWED ONCE ANNUALLY IN LATE FALL AFTER FIRST FROST OR BEFORE PLANT GROWTH BEGINS IN LATE WINTER OR EARLY SPRING. ADDITIONAL MOWINGS ARE DISCOURAGED UNLESS WHEN NEEDED FOR MAINTENANCE SUCH AS REMOVAL OF SEDIMENT BUILDUP REPAIR OF EROSION, ETC.
 - MOW GRASSES OUTSIDE OF BIORETENTION AREAS TO MAINTAIN A 4-6" STRONG STAND OF TURF, ALL CLIPPINGS SHALL BE COLLECTED AND DISPOSED OF PROPERLY
 - NO WOODY GROWTH SHOULD EVER BE ALLOWED TO REMAIN IN AND AROUND THE FOREBAYS
 - AREAS OF EROSION OR DISTURBANCE SHALL BE RE-ESTABLISHED IMMEDIATELY
 - INLETS AND OUTLETS SHALL BE CLEARED OF DEBRIS AS NEEDED
- RAIN GARDENS:**
- RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST ONE INCH TO ENSURE THEY ARE FUNCTIONING PROPERLY.
 - THE RAIN GARDENS SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING, PLANT GROWTH AND SURVIVAL.
 - PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON.
 - SILT/SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDENS WHEN THE ACCUMULATION EXCEEDS ONE INCH, OR WHEN WATER POUNDS ON THE SURFACE FOR MORE THAN 48 HOURS. THE TOP FEW INCHES OF MATERIAL SHALL BE REMOVED AND REPLACED WITH FRESH SOIL MIXTURE AND MULCH.
 - PRUNING AND REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
 - SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
 - FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDENS.
 - PERENNIAL PLANTS AND GROUND COVERS SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.
- DETENTION BASIN:**
- THE FACILITY SHALL BE INSPECTED ANNUALLY TO ENSURE INFILTRATION RATES ARE BEING MET. IF STANDING WATER IS OBSERVED FOR MORE THAN 48 HRS AFTER A RAIN EVENT, THE TOP 6" SHALL BE ROTOTILLED AND ANY COMPACTED REMOVED. IF THIS DOESN'T SOLVE THE PROBLEM, THE TOP 6" OF THE BASIN SHALL BE REMOVED AND REPLACED.
 - THE FACILITY SHALL BE INSPECTED ANNUALLY FOR EROSION, GULLYING OR DAMAGE AND CLEANED OF DEBRIS AND TRASH
 - RIPRAP SHALL BE REINFORCED IF EROSION IS PRESENT AT OUTFALLS OR IF IT HAS BEEN COMPROMISED
 - MOW GRASSES TO MAINTAIN A 4-6" STRONG STAND OF TURF, ALL CLIPPINGS SHALL BE COLLECTED AND DISPOSED OF PROPERLY
 - NO WOODY GROWTH SHALL EVER BE ALLOWED TO REMAIN IN AND AROUND THE FOREBAYS
 - AREAS OF EROSION OR DISTURBANCE SHALL BE RE-ESTABLISHED IMMEDIATELY
 - INLETS AND OUTLETS SHALL BE CLEARED OF DEBRIS AS NEEDED
- CATCH BASINS AND DRAINAGE SYSTEM:**
- ALL CATCH BASINS AND STORM DRAIN PIPES SHALL BE ANNUALLY CHECKED FOR SEDIMENT AND DEBRIS AND CLEANED / JETTED AS NECESSARY.
 - ALL COSTS INCURRED FOR MAINTENANCE, CLEANING, AND INSPECTION ARE THE RESPONSIBILITY OF THE PROPERTY OWNER UPON ACCEPTANCE.
- ESTIMATED O&M BUDGET & FUNDING SOURCE:**
- ESTIMATE OF O&M BUDGET:
- | | \$1000 EA | \$1,000 |
|-------------------------|----------------|---------------------|
| BI-ANNUAL INSPECTIONS: | \$1000 EA | \$1,000 |
| BI-WEEKLY MOWING: | \$200 EA X 14 | \$2,800 |
| MISC. REPAIRS: | \$1,000 | \$1,000 |
| PAVEMENT SWEEPING | \$1,000 | \$1,000 |
| ADDITIONAL INSPECTIONS: | \$1,000 EA X 2 | \$2,000 |
| TOTAL ESTIMATE: | | \$7,800 / YR |
- THE PROJECT OPERATOR WILL BE THE OWNER, WHO SHALL BE RESPONSIBLE FOR FUNDING THE O&M BUDGET.

REVISION HISTORY:

DATE	REVISION

REFERENCES:

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- Aerial Photograph Courtesy of GoogleEarthPro; Imagery Date: 6/15/22

Kent Heights Recreational Facility Improvements Project

Map 408, Block 17, Parcel 16
Clyde Avenue
East Providence, RI

Prepared For:



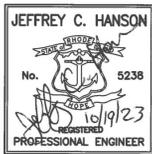
CITY OF EAST PROVIDENCE
145 TAUNTON AVENUE
EAST PROVIDENCE, RHODE ISLAND 02914
(401) 435-7703



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Grading, Drainage, Soil Erosion, and Sediment Control Notes and Details

Project #: 2.134.380 Sheet 7 of 12

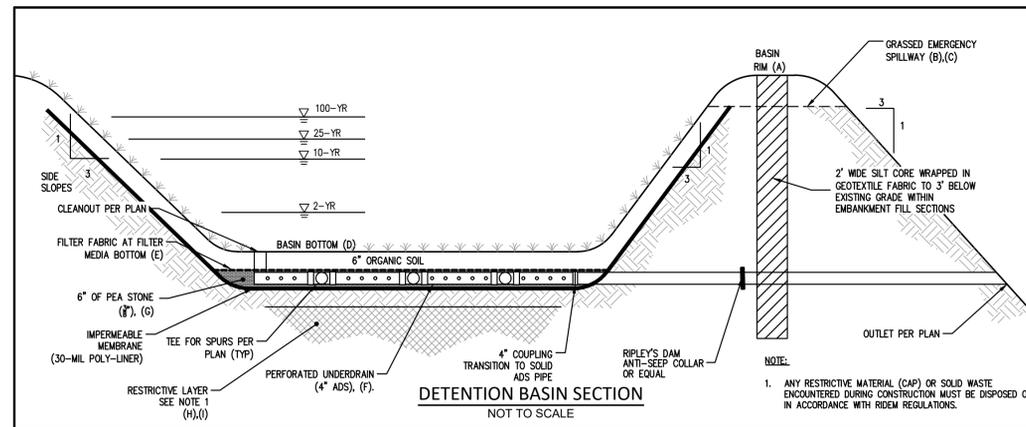
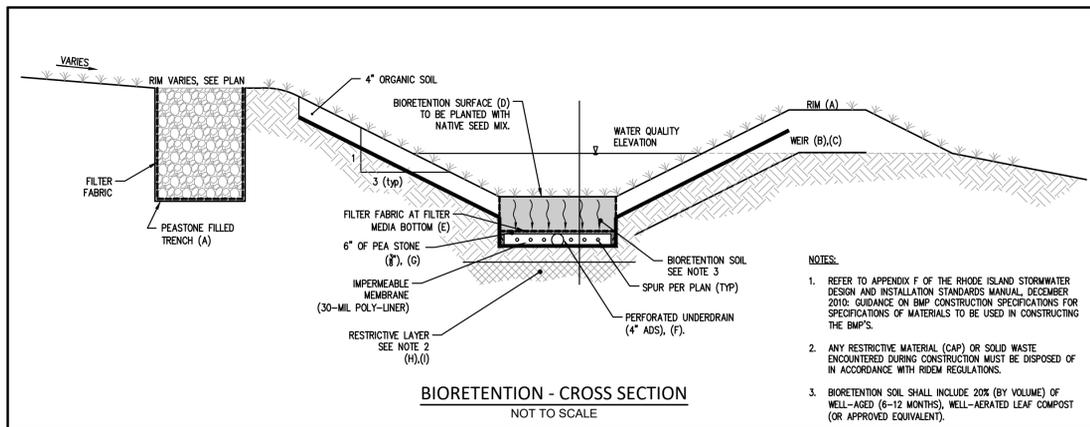
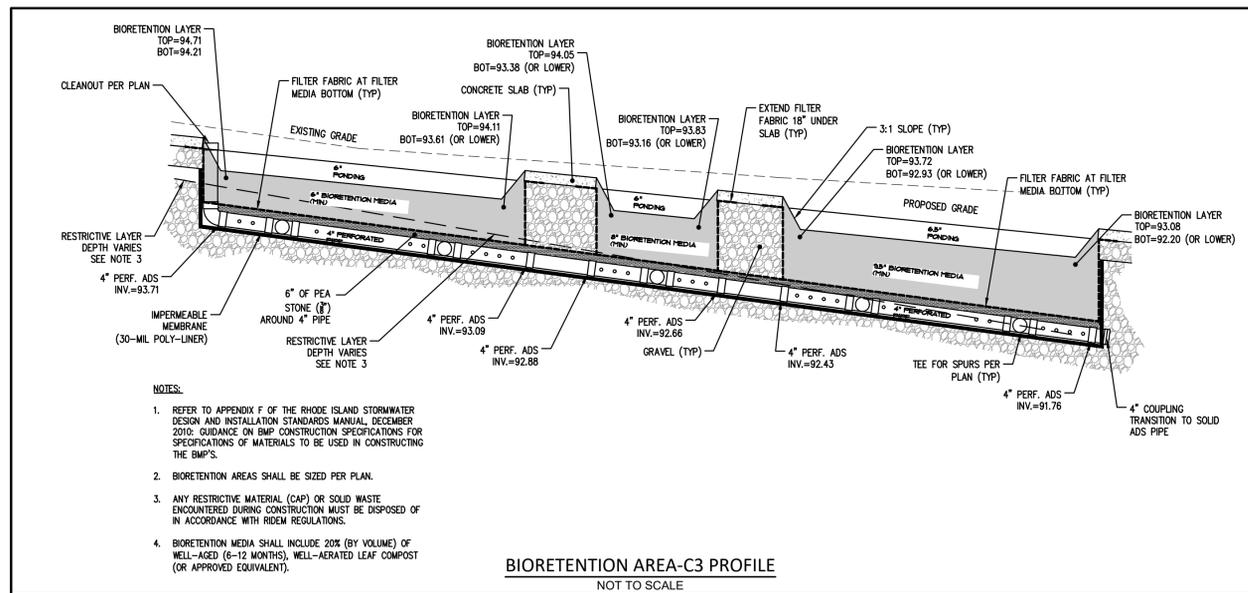
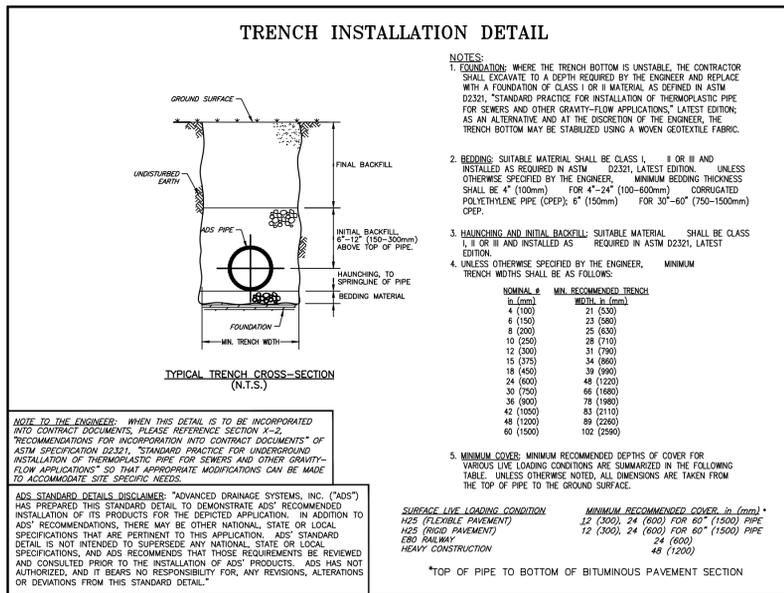
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Drawn By: BJC, KMA

Checked By: JCH

Date: October 2023

7



BMP	Rim Elevation (A)	Weir Elevation (B)	Weir Width (C)	Bioretention / Bottom Surface (D)	Bottom Filter Media (E)	Underdrain Pipe Invert (F)	Bottom Stone (G)	Top Restrictive Layer (H)	Bottom Restrictive Layer (I)
Bioretention A2	94.00	93.50	5.0	93.00	92.00	91.64	91.50	91.90	89.90
Bioretention A3	93.00	92.50	5.0	92.00	91.00	90.64	90.50	90.34	88.84
Bioretention A4	94.00	93.50	5.0	93.00	92.00	91.64	91.50	91.90	89.90
Bioretention A5	93.00	92.50	5.0	92.00	91.00	90.64	90.50	90.53	89.70
Detention B1	90.00	89.00	5.0	87.00	N/A	86.64	86.50	N/A	N/A
Bioretention C2	96.00	95.50	5.0	95.00	94.00	93.50	93.50	N/A	N/A
Bioretention C3	-- See Profile --								
Bioretention C4	94.00	93.50	5.0	93.00	92.00	91.64	91.50	90.39	90.39
Detention C5	90.00	88.75	10.0	87.00	N/A	86.64	86.50	91.90	85.00
Bioretention C6	89.00	88.50	5.0	88.00	87.50	87.14	87.00	87.76	85.68

BIORETENTION / DETENTION BASIN DATA

REVISION HISTORY:

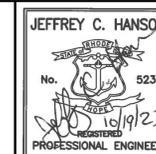
DATE	REVISION

- ### REFERENCES:
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 - Aerial Photograph Courtesy of GoogleEarthPro; Imagery Date: 6/15/22

Kent Heights Recreational Facility Improvements Project

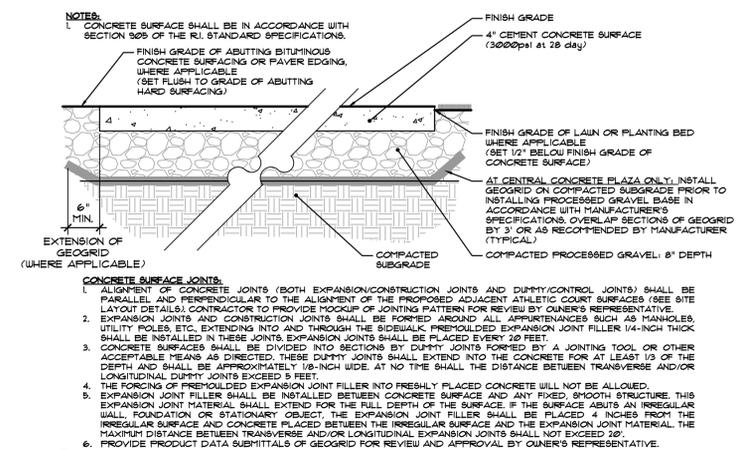
Map 408, Block 17, Parcel 16
Clyde Avenue
East Providence, RI

Prepared For:

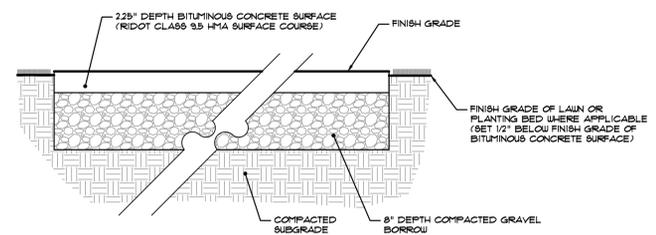



Stormwater Control Details

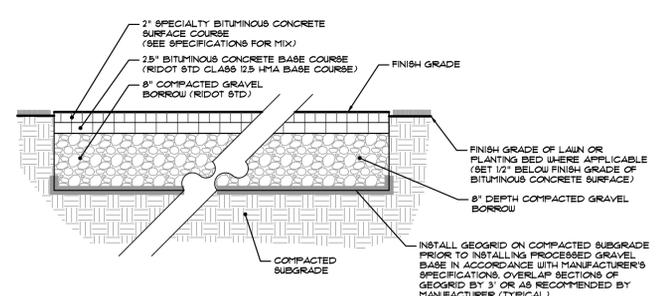
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Scale: Not to Scale	8
Drawn By: BJC	
Checked By: JCH	
Date: October 2023	



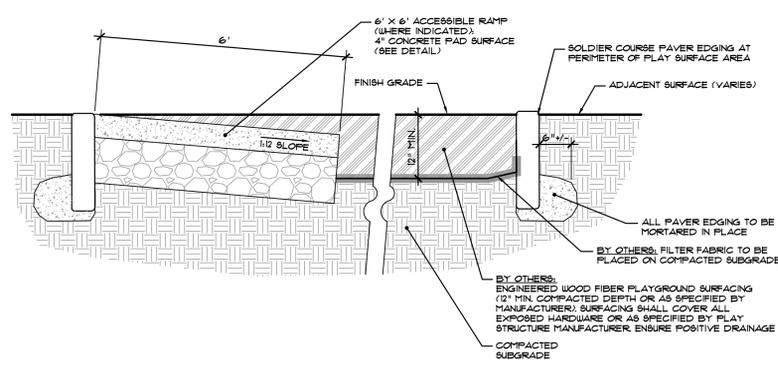
1 CONCRETE PEDESTRIAN SURFACE AND PADS WHERE INDICATED AT SITE FURNISHINGS NOT TO SCALE



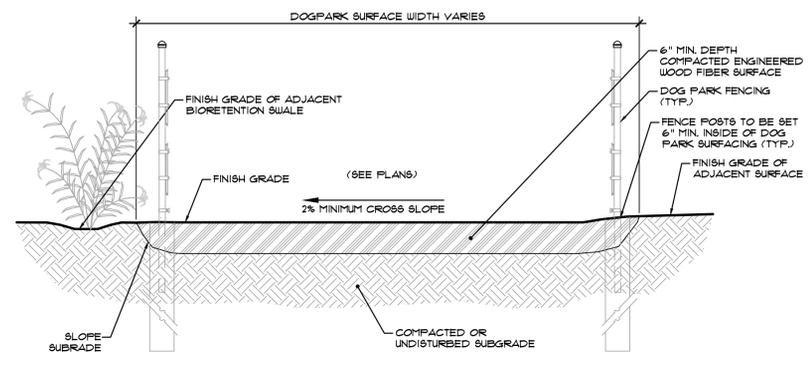
2 BITUMINOUS CONCRETE PEDESTRIAN SURFACE NOT TO SCALE



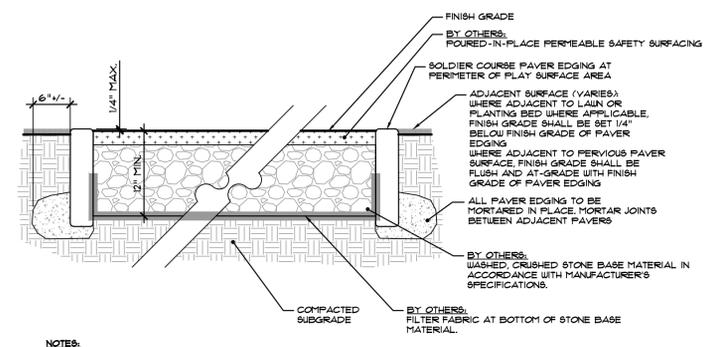
3 BITUMINOUS CONCRETE SPORT SURFACING NOT TO SCALE



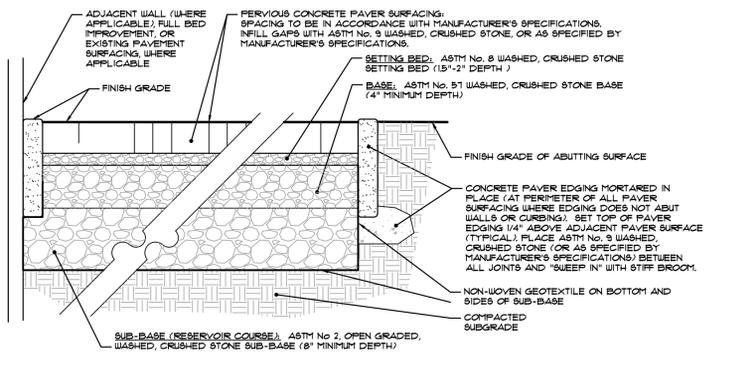
4 PLAYGROUND SURFACING (PAVER EDGING AND ACCESSIBLE CONCRETE RAMP AT ENGINEERED WOOD FIBER PLAY SURFACING) NOT TO SCALE



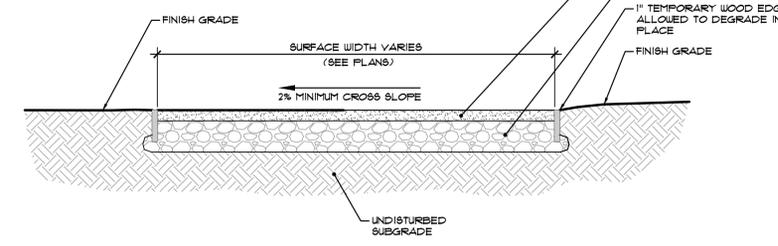
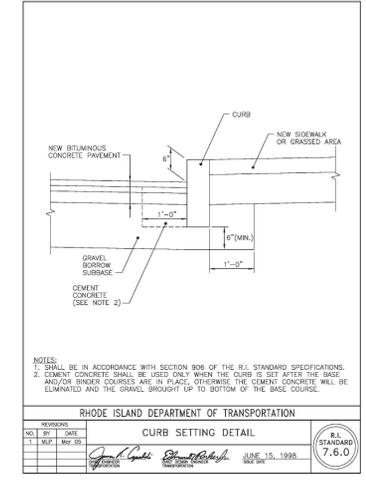
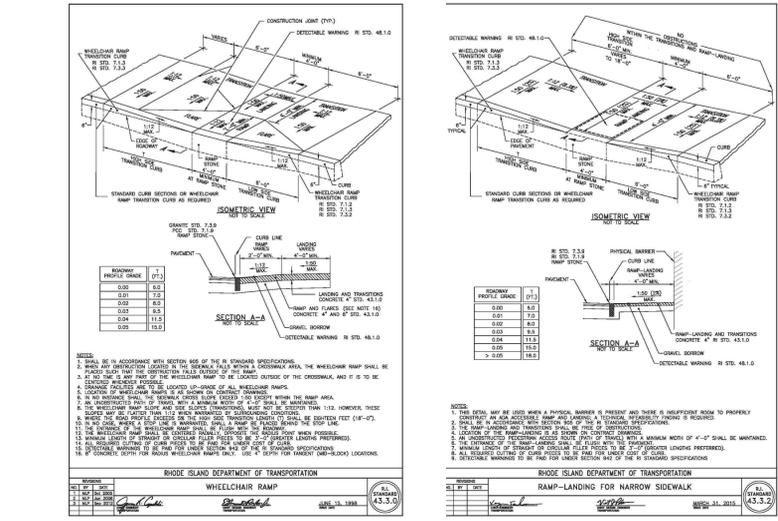
5 DOG PARK WOOD CHIP SURFACE NOT TO SCALE



6 ALTERNATE PLAYGROUND SURFACING (PAVER EDGING AT PERMEABLE POURED-IN-PLACE SAFETY PLAY SURFACING) NOT TO SCALE



7 ADD ALTERNATE: PERVIOUS CONCRETE PAVEMENT SURFACE NOT TO SCALE



8 ALTERNATE PEDESTRIAN SURFACING (STONEDUST FITNESS TRAIL SURFACE) NOT TO SCALE

REVISION HISTORY:

DATE	REVISION

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Kent Heights Recreational Facility Improvements Project

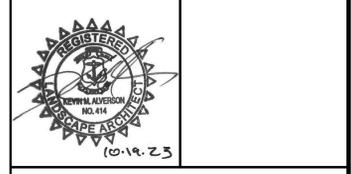
Map 408, Block 17, Parcel 16
 Clyde Avenue
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Prepared For:

CITY OF EAST PROVIDENCE
 145 TAUNTON AVENUE
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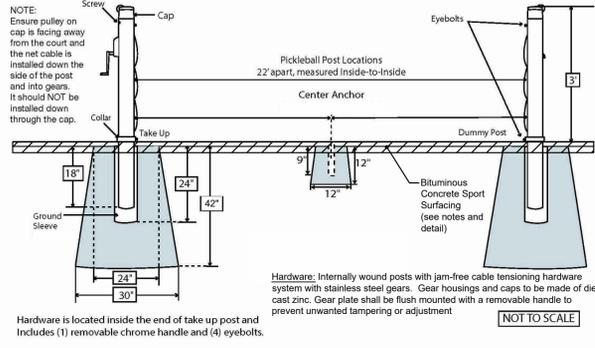


Surfacing Details

Project #: 2.134.380	Sheet 9 of 12
Scale: Not to Scale	9
Drawn By: KMA	
Checked By: KMA	
Date: October 2023	

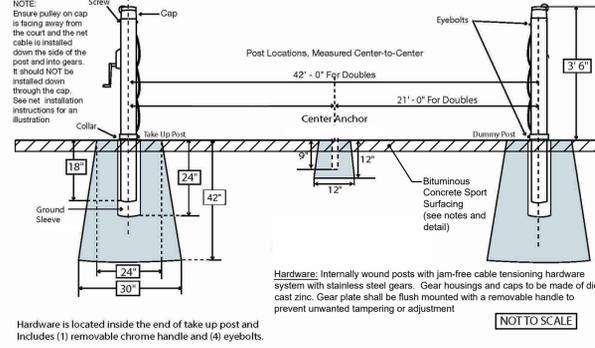
2.134.380 KentHeightsRc_EPlanDocm01.rvt

Douglas® Premier™ XS
Pickleball/QuickStart Tennis Posts (OR APPROVED EQUAL)

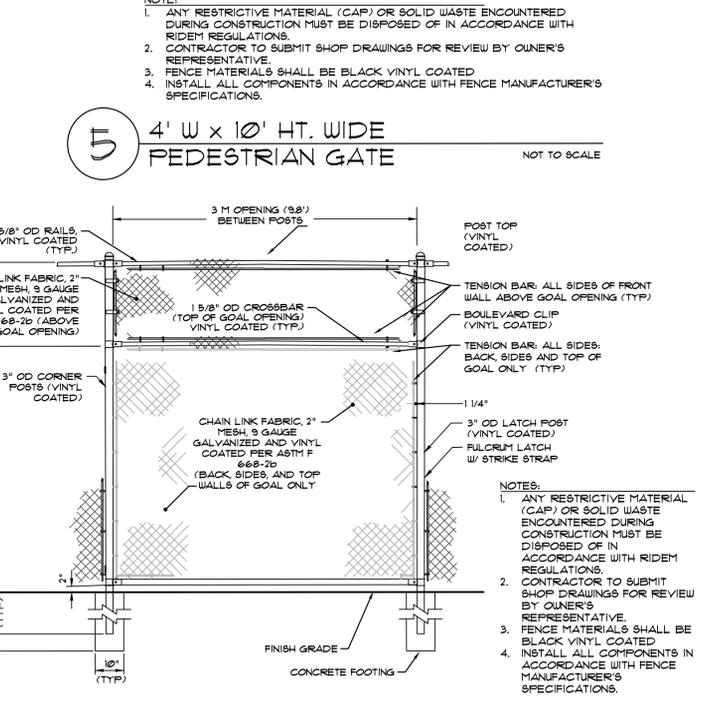
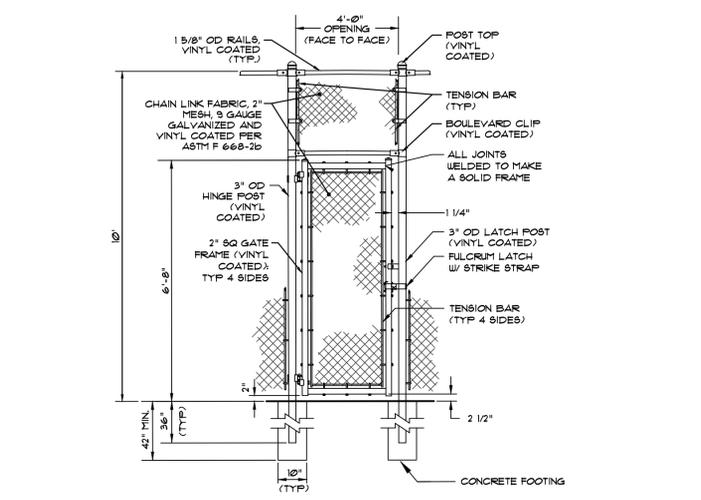
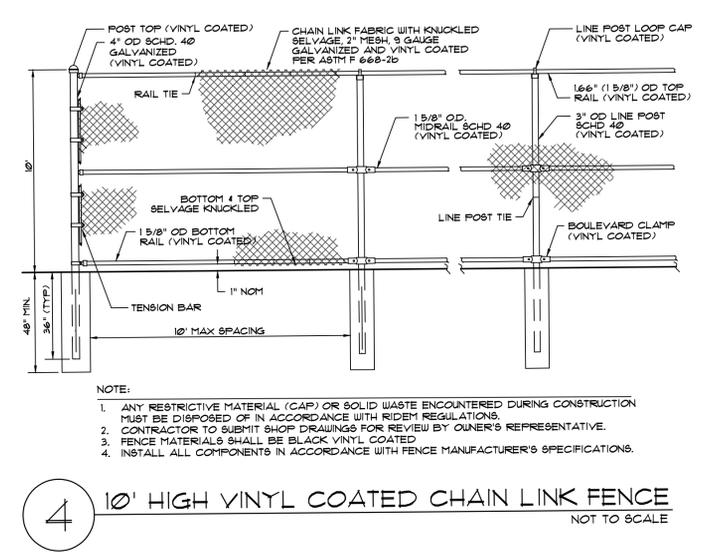
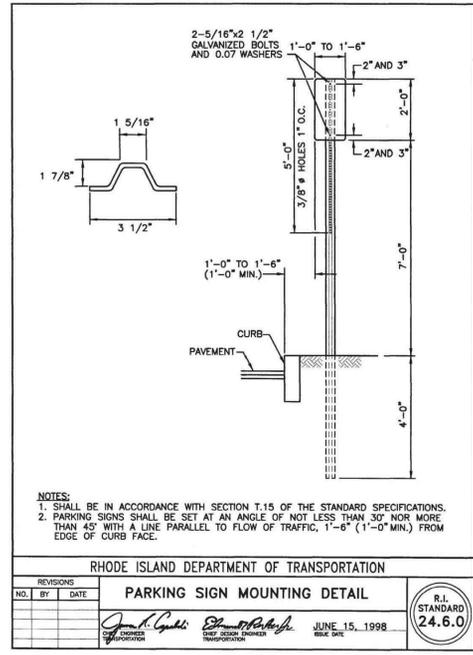


- POST AND ANCHOR INSTALLATION:**
- When installing post, use bottom collar to ensure post height is about 3' above the court surface.
 - Posts should be spaced 22' apart (measured inside-to-inside).
 - GROUND SLEEVE INSTALLATION:** While pouring the concrete hold the ground sleeve in place, plugged end down. Use a plumb line to set the sleeve pointing straight up. Sleeve should be set flush with the surface. Let concrete dry and cure. Carefully set the post in ground sleeves.
 - Adjust set screw to tighten tennis post cap.
 - Screw on the top and bottom eyebolts to each post.
- CENTER ANCHOR**
The center anchor should be 11' away from each post. Pour concrete into a bell shaped hole 9" in diameter at the top and 12" in diameter at the bottom. The hole should be 12" deep. While pouring, hold the anchor in place, with the narrowed end down. Make sure the anchor is flush with the surface and pin is parallel to the net line. Let concrete dry.
- CARE & MAINTENANCE**
During the off season, it is best to winterize your court by removing the posts and use sleeve plugs to prevent moisture and dirt from falling in.

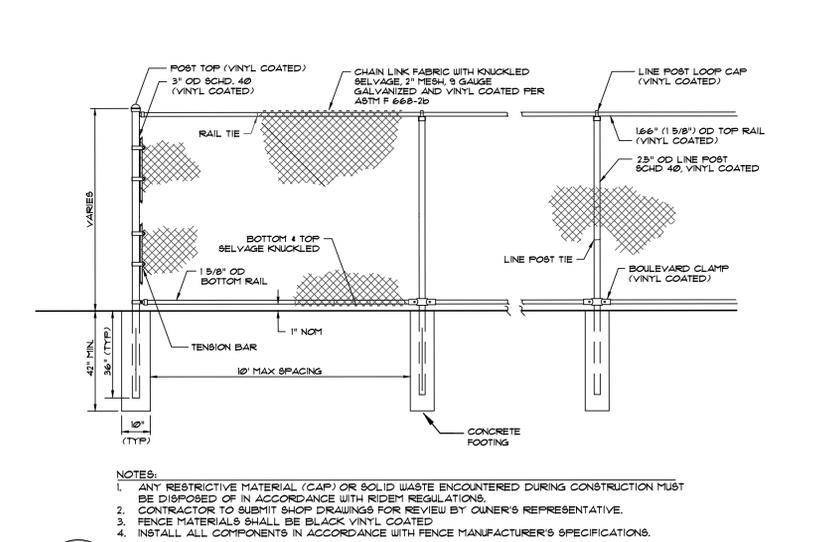
Douglas® Premier™ XS
Tennis Post Installation (OR APPROVED EQUAL)



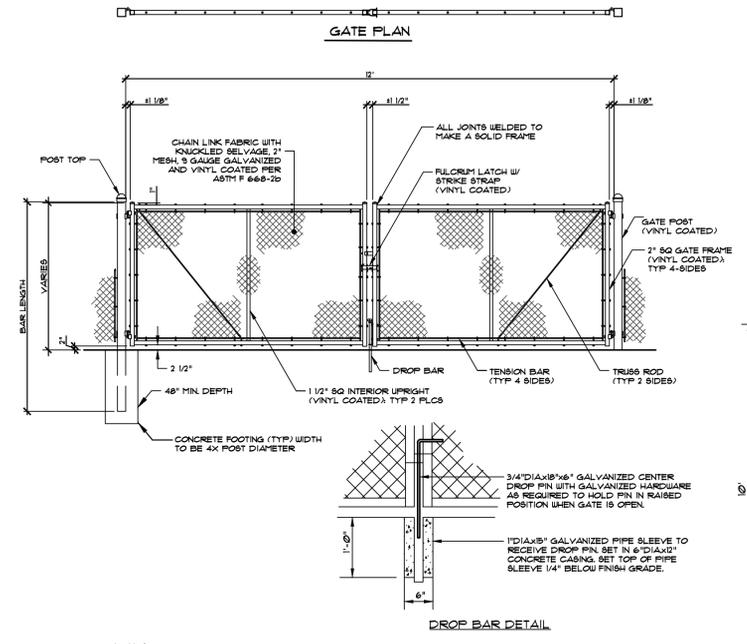
- POST AND ANCHOR INSTALLATION:**
- When installing post, use bottom collar to ensure post height is about 3' above the court surface.
 - The tennis posts footings should be placed 3' outside the court on each side.
 - Posts should be spaced 42' apart (measured center-to-center) for doubles courts.
 - GROUND SLEEVE INSTALLATION:** While pouring the concrete hold the ground sleeve in place, plugged end down. Use a plumb line to set the sleeve pointing straight up. Sleeve should be set flush with the surface. Let concrete dry and cure. Carefully set the post in ground sleeves.
 - Adjust set screw to tighten tennis post cap.
 - Screw on the top and bottom eyebolts to each post.
- CENTER ANCHOR**
The center anchor should be 21' away from each post for Doubles. Pour concrete into a bell shaped hole 9" in diameter at the top and 12" in diameter at the bottom. The hole should be 12" deep. While pouring, hold the anchor in place, with the narrowed end down. Make sure the anchor is flush with the surface and pin is parallel to the net line. Let concrete dry.
- CARE & MAINTENANCE**
During the off season, it is best to winterize your court by removing the tennis posts and use sleeve plugs to prevent moisture and dirt from falling in.



1 4' W x 4' OR 6' HT. PEDESTRIAN GATE
NOT TO SCALE



2 4' OR 6' HT. VINYL COATED CHAIN LINK FENCE
NOT TO SCALE



3 12' WIDE CHAINLINK FENCE SERVICE GATE
NOT TO SCALE

6 FUTSAL GOAL
NOT TO SCALE

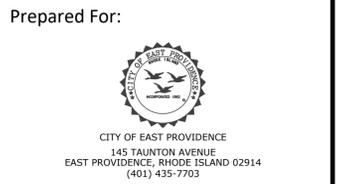
REVISION HISTORY:

DATE	REVISION

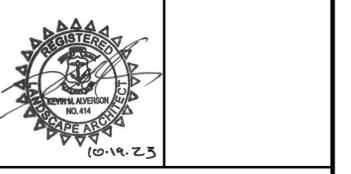
- REFERENCES:**
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Kent Heights
Recreational Facility
Improvements Project

Map 408, Block 17, Parcel 16
Clyde Avenue
East Providence, RI



Prepared For:
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Site Furnishing Details

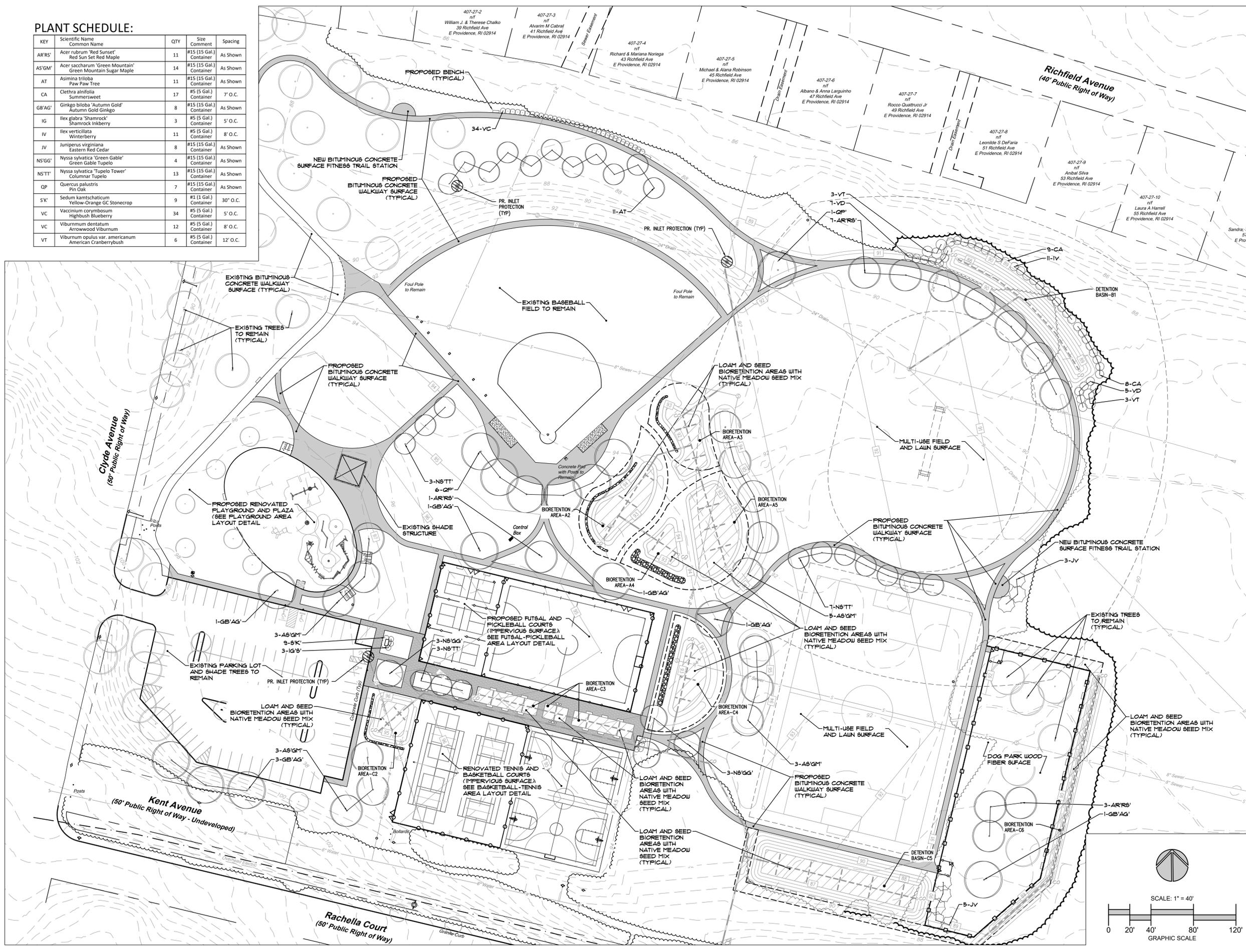
Project #: 2.134.380	Sheet 10 of 12
Scale: Not to Scale	10
Drawn By: KMA	
Checked By: KMA	
Date: October 2023	

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2.134.380 KentHeightsRec_E ProvidenceRI.dwg

PLANT SCHEDULE:

KEY	Scientific Name Common Name	QTY	Size Comment	Spacing
AR'RS'	Acer rubrum 'Red Sunset' Red Sun Set Red Maple	11	#15 (15 Gal.) Container	As Shown
AS'GM'	Acer saccharum 'Green Mountain' Green Mountain Sugar Maple	14	#15 (15 Gal.) Container	As Shown
AT	Asimina triloba Paw Paw Tree	11	#15 (15 Gal.) Container	As Shown
CA	Clethra alnifolia Summersweet	17	#5 (5 Gal.) Container	7' O.C.
GB'AG'	Ginkgo biloba 'Autumn Gold' Autumn Gold Ginkgo	8	#15 (15 Gal.) Container	As Shown
IG	Ilex glabra 'Shamrock' Shamrock Inkberry	3	#5 (5 Gal.) Container	5' O.C.
IV	Ilex verticillata Winterberry	11	#5 (5 Gal.) Container	8' O.C.
JV	Juniperus virginiana Eastern Red Cedar	8	#15 (15 Gal.) Container	As Shown
NS'GG'	Nyssa sylvatica 'Green Gable' Green Gable Tupelo	4	#15 (15 Gal.) Container	As Shown
NS'TT'	Nyssa sylvatica 'Tupelo Tower' Columnar Tupelo	13	#15 (15 Gal.) Container	As Shown
QP	Quercus palustris Pin Oak	7	#15 (15 Gal.) Container	As Shown
SK'	Sedum kamtschaticum Yellow-Oranges GC Stonecrop	9	#1 (1 Gal.) Container	30' O.C.
VC	Vaccinium corymbosum Highbush Blueberry	34	#5 (5 Gal.) Container	5' O.C.
VC	Viburnum dentatum Arrowwood Viburnum	12	#5 (5 Gal.) Container	8' O.C.
VT	Viburnum opulus var. americanum American Cranberrybush	6	#5 (5 Gal.) Container	12' O.C.



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Kent Heights Recreational Facility Improvements Project

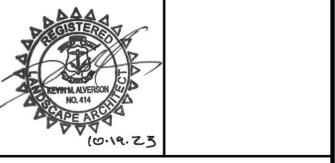
Map 408, Block 17, Parcel 16
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Landscape Plan

Project #: 2.134.380 Sheet 11 of 12

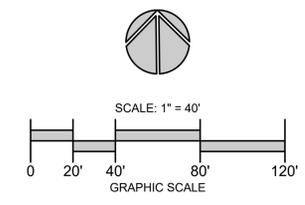
Scale: 1" = 40'

Drawn By: KMA

Checked By: KMA

Date: October 2023

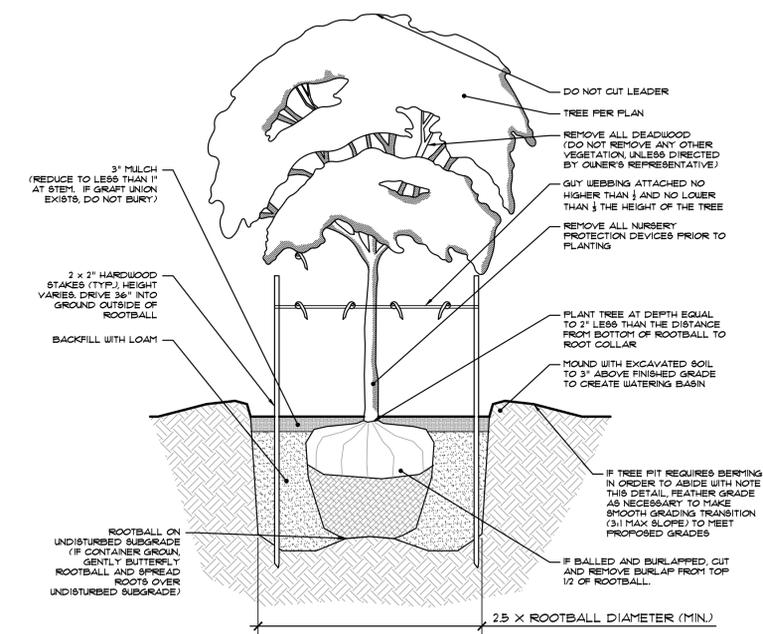
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LANDSCAPE NOTES:

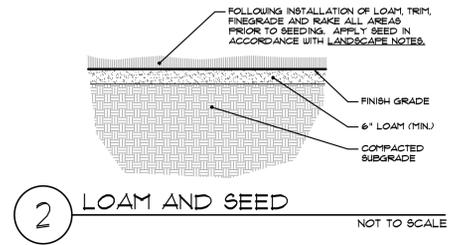
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CURRENT PLANTING PROCEDURES ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN, STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY.
- ALL PROPOSED PLANT MATERIAL SHALL BE AS SPECIFIED, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. IN ABSOLUTELY NO CIRCUMSTANCE SHALL THERE BE ANY USE OF PLANTS LISTED ON THE RI INVASIVE SPECIES LIST FOR PLANTS AS PREPARED BY THE RHODE ISLAND NATURAL HISTORY SURVEY AND THE RHODE ISLAND INVASIVE SPECIES COUNCIL.
- ALL PLANTINGS SHALL BE SIZED IN ACCORDANCE WITH THE SIZES INDICATED ON THE PLANT SCHEDULE, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
 - IT IS UNDERSTOOD THAT SPECIFIED PLANT VARIETIES, QUANTITIES, AND SIZES MAY BE SUBJECT TO AVAILABILITY AT TIME OF ORDERING AND INSTALLATION. ALL PLANT SUBSTITUTIONS AND/OR CHANGES IN PLANT LOCATION, QUANTITY, OR SIZE MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFF-SITE LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
- MAINTENANCE AND WARRANTY:**
 - ALL PLANTINGS SHALL BE MAINTAINED BY THE OWNER OR CONTRACTOR FROM THE TIME OF PLANTING UNTIL THE PLANTINGS ARE ESTABLISHED. MAINTENANCE DURING THIS PERIOD SHALL INCLUDE WATERING OF PLANTINGS AS NECESSARY TO ENSURE PROPER ESTABLISHMENT OF PLANTINGS. FOLLOWING ESTABLISHMENT OF PLANTINGS, OWNER SHALL MAINTAIN ALL LANDSCAPING THROUGHOUT THE PROJECT SITE FOR THE LIFE OF THE PROJECT.
 - CONTRACTOR SHALL PROVIDE A TWO (2) YEAR WARRANTY ON ALL NEW PLANTINGS. SHOULD NEW PLANT MATERIAL DIE (OR DECLINE TO THE POINT WHERE PLANT IS EXPECTED TO DIE) WITHIN THIS WARRANTY PERIOD (OTHER THAN DIE TO NATURAL FACTORS SUCH AS DROUGHT, NATURAL DISASTER, OR NEGLIGENCE), CONTRACTOR SHALL REMOVE THE PLANT AND REPLACE SAID PLANT MATERIAL WITH NEW PLANTINGS IN ACCORDANCE WITH THE SIZE AND VARIETY SPECIFIED. ALL REPLACEMENT PLANT MATERIAL SHALL CARRY A NEW TWO (2) YEAR WARRANTY STARTING FROM THE DATE OF REPLACEMENT. CONTRACTOR SHALL REMOVE ALL STAKES, GUY WIRES, AND TAPE FROM TREES AT THE END OF THE SPECIFIED WARRANTY PERIOD.
- FINAL LOCATIONS OF ALL NEW PLANTINGS SHALL BE ADJUSTED AS NECESSARY BASED ON FINAL AS-BUILT LOCATIONS OF ALL NEW AND EXISTING UTILITIES AND OTHER SITE IMPROVEMENTS.
- EXISTING VEGETATION PROTECTION LINE: WHEN APPLICABLE, PROTECTIVE BARRIERS ARE TO BE INSTALLED ALONG THE LIMIT OF DISTURBANCE ADJUTING EXISTING VEGETATION TO REMAIN (SEE ENGINEER'S PLANS). BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF-SUPPORTING. THEY SHALL BE A MINIMUM OF THREE (3) FEET (9'-4") HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED. PRUNING OF ANY DAMAGED ROOTS SHALL BE DONE IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, UTILIZING ONLY CLEAN SHARP TOOLS - NO AXES TO BE USED FOR PRUNING. CARE SHALL BE TAKEN NOT TO DISPOSE OF PAINT OR ANY OTHER SOLVENTS THAT MAY CHANGE THE SOIL STRUCTURE IN OR AROUND THE ROOTZONE OF VEGETATION SPECIFIED TO REMAIN.
- FOLLOWING COMPLETION OF CONSTRUCTION PROCEDURES, ALL PROTECTION BARRIERS ARE TO BE REMOVED AND DISPOSED OF PROPERLY, OFF-SITE IN A LEGAL MANNER.
- LOAM AND COMPOST:** ALL LOAM USED AS PLANTABLE SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH, CONSTRUCTION DEBRIS, OR OTHER OBJECTIONABLE MATERIAL. NEW PLANTING BEDS SHALL BE AMENDED WITH WELL-AGED COMPOST.
 - COMPOST SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE. IT SHALL BE DERIVED FROM AGRICULTURAL, FOOD, AND/OR YARD TRIMMINGS. THE PRODUCT SHALL CONTAIN NO SUBSTANCES TOXIC TO PLANTS AND SHALL BE REASONABLY FREE (LESS THAN 1 PERCENT BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER.
- WATERING:** THOROUGHLY WATER ALL PLANTS WHEN 2/3 OF BACKFILL HAS BEEN PLACED TO ENSURE ALL AIR POCKETS ARE REMOVED. FIRMLY TAMP SOIL AROUND PLANT. ENSURE PROPER WATERING OF PLANT MATERIAL UNTIL ESTABLISHMENT (ONCE PER DAY FOR 14 DAYS FOLLOWING INSTALLATION & THEN 2-3 TIMES PER WEEK UNTIL DOMINANCE FOR THE FIRST YEAR OF ESTABLISHMENT, OR AS NEEDED DEPENDING ON FREQUENCY AND QUANTITY OF NATURAL RAIN FALL). MONITOR SOIL MOISTURE WITHIN ROOTZONE OF PLANTINGS PRIOR TO AND FOLLOWING EACH WATERING PROCEDURE. DO NOT OVERWATER OR SATURATE ROOTZONE OF PLANTINGS FOR PROLONGED PERIOD OF TIME.
- PRUNING:** ALL PLANTING MATERIAL SHALL BE PRUNED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND IN SUCH A MANNER AS TO MAINTAIN THE NATURAL FORM OF THE PLANT. PRUNING SHALL BE COMPLETED UTILIZING ONLY CLEAN SHARP TOOLS. USE OF AXES FOR PRUNING IS UNACCEPTABLE.
 - PRUNE ALL PLANT MATERIAL TO REMOVE ANY DEADWOOD AND DAMAGED, CROSSING/RUBBING BRANCHES.
- MULCH:** ALL PLANTINGS SHALL BE MULCHED AS INDICATED ON DETAIL DRAWINGS. PLANTINGS INSTALLED IN CLUSTERS, OR WITHIN PLANTING BEDS SHALL BE MULCHED AS SUCH, INSTALLING MULCH THROUGHOUT THE ENTIRE PLANTING BED. MULCH TO BE 2"-3", OR AS OTHERWISE NOTED, IN DEPTH AND REDUCED TO LESS THAN 1" AT ROOT FLARE OF EACH PLANT.
 - BARK MULCH, WHERE INDICATED, SHALL BE WELL-AGED, SHREDDED BARK MULCH, NATURAL DARK BROWN IN COLOR AND NON-DYED, OR AS APPROVED BY OWNER'S REPRESENTATIVE.
- LOAM AND SEED:**
 - LOAM AND SEED ALL DISTURBED AREAS. ALL NEW LAWN AREAS SUBJECT TO EROSION SHALL BE STABILIZED UTILIZING JUTE MESH OR APPROVED EQUAL.
 - LOAM UTILIZED FOR LAWN AREAS SHALL BE SANDY LOAM, 6" MIN. IN DEPTH, AND CONFORMING TO THE REQUIREMENTS OF THE USGA FOR LAWN PLANTINGS.
 - SEED MIX:**
 - SEED MIX UTILIZED FOR LAWN AREAS AND DETENTION BASINS SHALL BE SIMILAR TO 'Endophyte Enhanced Mix' AS AVAILABLE THROUGH ALLEN'S SEED, EXETER, RI, OR EQUAL, DROUGHT TOLERANT, DEEP-ROOTING GRASS SEED, CONTAINING A MINIMUM OF 30% BY WEIGHT OF TURF-TYPE TALL FESCUE:
 - 30% Improved Perennial Rye, 30% Turf Type Tall Fescue, 30% Chewings Fescue, 10% Kentucky Bluegrass 98/85
 - IF UTILIZING SOD, SOD SHALL ALSO BE COMPRISED OF DROUGHT TOLERANT, DEEP-ROOTING TURF GRASS, CONTAINING TURF-TYPE TALL FESCUE, SIMILAR TO 'BLACK-BEAUTY' VARIETY SOD, AS AVAILABLE THROUGH SODCO, INC., EXETER, RI, OR EQUAL.
 - SEED MIX UTILIZED FOR BIORETENTION AREAS SHALL BE A NATIVE MEADOW MIX SIMILAR TO 'RI STATE NATIVE MIX', AS AVAILABLE THROUGH ALLEN'S SEED, EXETER, RI, OR APPROVED EQUAL:
 - 30% Hard Fescue, 25% Perennial Rye, 25% Little Bluestem, 20% Switchgrass
 - IF INSTALLING SEED UTILIZING HYDROSEEDER DEVICE, PROVIDE HYDRO FIBER-MULCH AND STARTER FERTILIZER MIX.
 - IF BROADCAST SEEDING, TOPDRESS WITH 2" STRAW MULCH OR HYDRO FIBER-MULCH AND STARTER FERTILIZER MIX (NO SEED), FOLLOWING SPREADING OF SEED.



1 TREE PLANTING DETAIL NOT TO SCALE

NOTES:

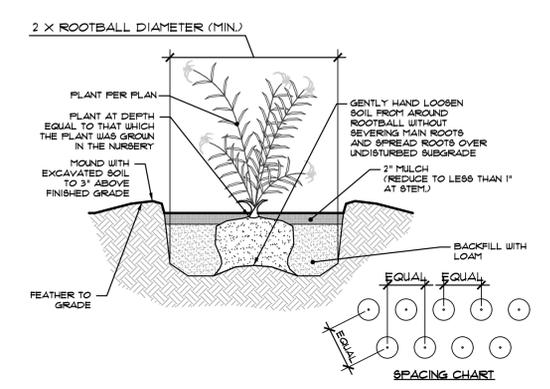
- IN NO CASE SHALL EXCAVATION FOR ROOTBALL PENETRATE RESTRICTIVE LANDFILL CAP. ROOTBALL SHALL BE SET AT OR ABOVE THE RESTRICTIVE CAP.
- ANY RESTRICTIVE MATERIAL (CAP) OR SOLID WASTE ENCOUNTERED DURING CONSTRUCTION MUST BE DISPOSED OF IN ACCORDANCE WITH RIDEM REGULATIONS.



2 LOAM AND SEED NOT TO SCALE

NOTES:

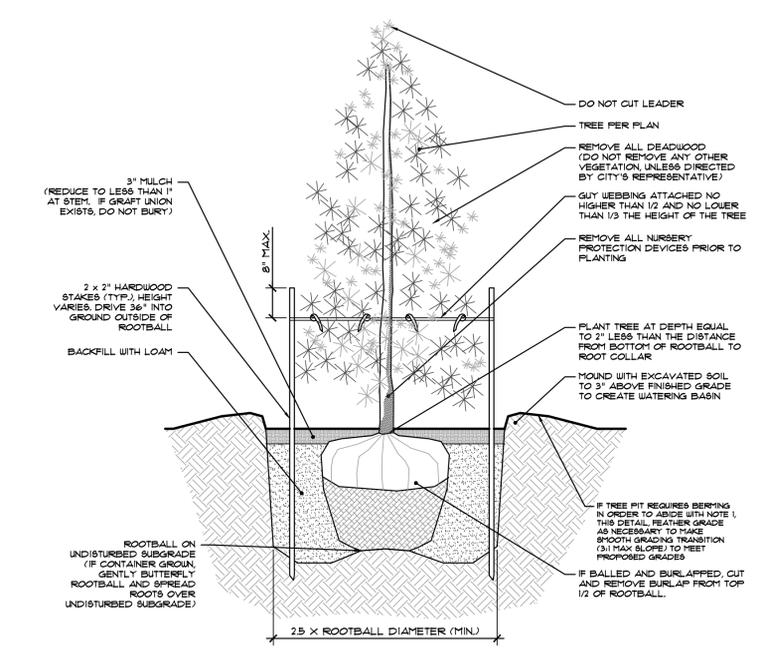
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3 PERENNIAL/GROUND COVER PLANTING DETAIL NOT TO SCALE

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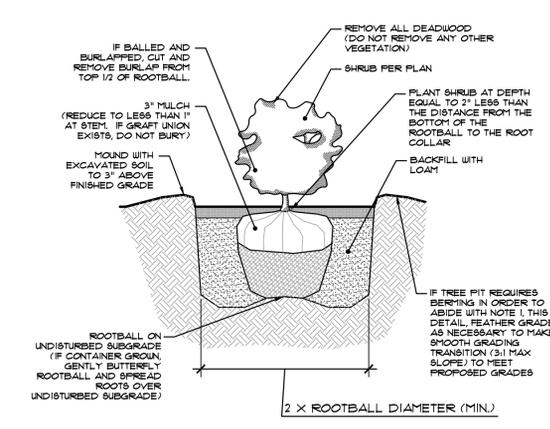
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4 EVERGREEN PLANTING DETAIL NOT TO SCALE

NOTES:

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- ANY RESTRICTIVE MATERIAL (CAP) OR SOLID WASTE ENCOUNTERED DURING CONSTRUCTION MUST BE DISPOSED OF IN ACCORDANCE WITH RIDEM REGULATIONS.



5 SHRUB PLANTING DETAIL NOT TO SCALE

NOTES:

- IN NO CASE SHALL EXCAVATION FOR ROOTBALL PENETRATE RESTRICTIVE LANDFILL CAP. ROOTBALL SHALL BE SET AT OR ABOVE THE RESTRICTIVE CAP.
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Landscape Notes and Details

Project #: 2.134.380	Sheet 12 of 12
Scale: Not To Scale	12
Drawn By: KMA	
Checked By: KMA	
Date: October 2023	